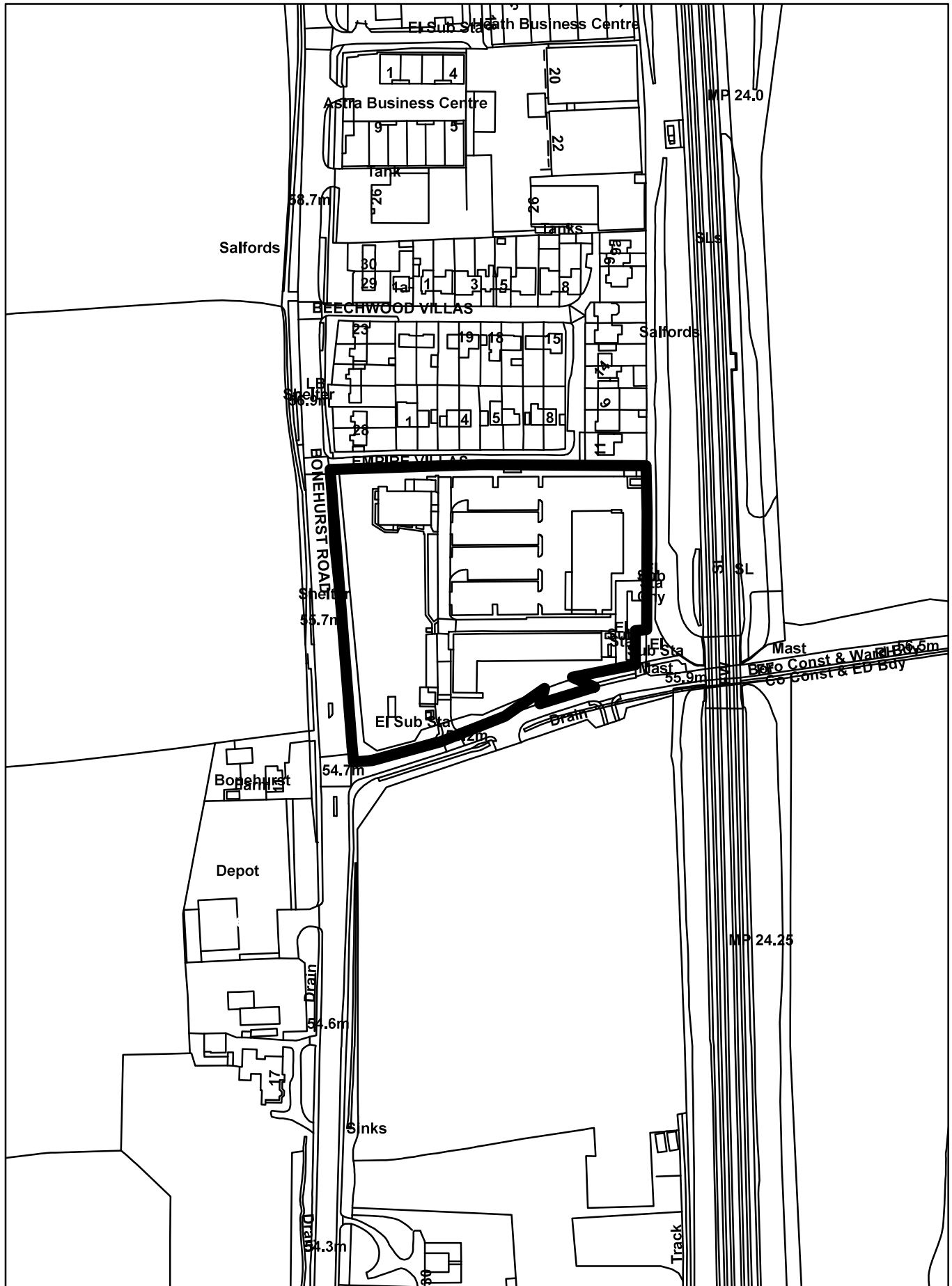


# 21/03303/F - Titan House, Crossoak Lane, Salfords

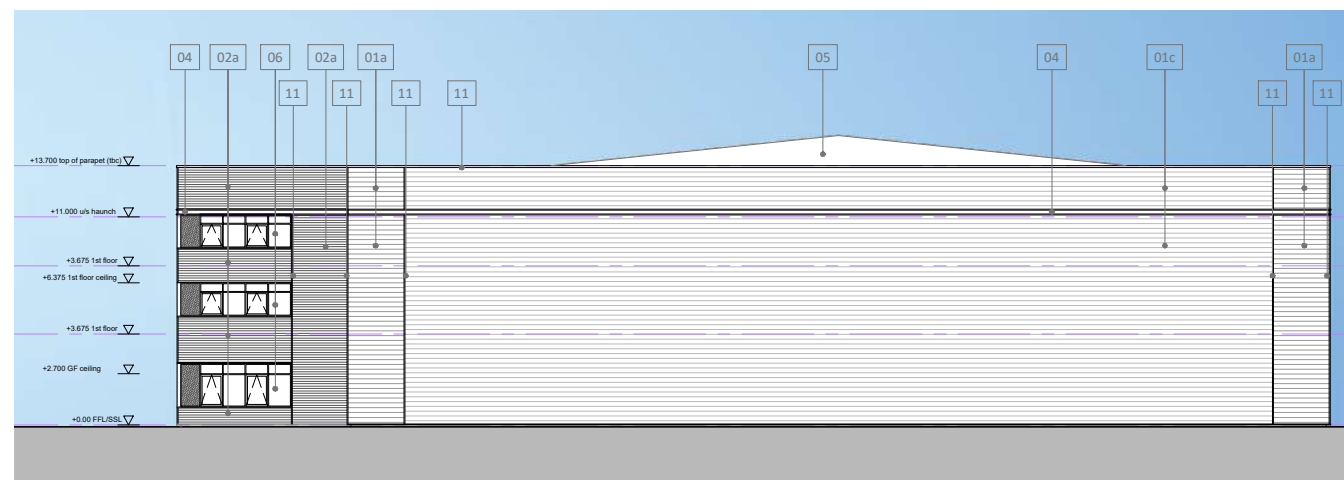




SOUTH ELEVATION - UNIT B



NORTH ELEVATION- UNIT B



EAST ELEVATION - UNIT B

**MATERIALS KEY:**

- 01a Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Orion (tbc)
- 01b Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Atlantis (tbc)
- 01c Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Aquarius (tbc)
- 01d Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Sirius (tbc)
- 02a Wall cladding: Horizontal sinusoidal profiled built up steel cladding - colour Prisma Zeus (tbc)
- 02b Wall cladding: Horizontal sinusoidal profiled built up steel cladding - colour Prisma Atlantis (tbc)
- 03 Wall cladding: Eurobond Europanel composite cladding - colour Prisma Atlantis (tbc)
- 04 Feature channel flashings: Colour tbc
- 05 Roof cladding: Profiled built up steel cladding - colour Goosewing Grey
- 06 Strip windows & curtain walling: Frame Colour: Anthracite (RAL 7016)
- 07 Level loading doors: Colour tbc
- 08 Dock leveller doors: Colour tbc
- 09 Metal escape & personnel door: Colour to match adjacent cladding
- 10 Galvanized steel spiral escape stair and roof
- 11 Metal flashings: Colour tbc
- 12 Glazed entrance canopy on ppc metal supports
- 13 Look-a-like glazing spandrel panels
- 14 Metal spandrel panel to match glazing with letter box
- 15 Unit & door numbers
- 16 Concrete dock retaining walls

P2	Rear parapet dropped and outboard gutter added	04.04.2022	WR	WRA
P1	Issued for Planning Approval	10.12.2021	WR	WRA
Rev	Notes	dd.mm.yyyy	By	Auth

**PLANNING**

SCALE BAR IN mm

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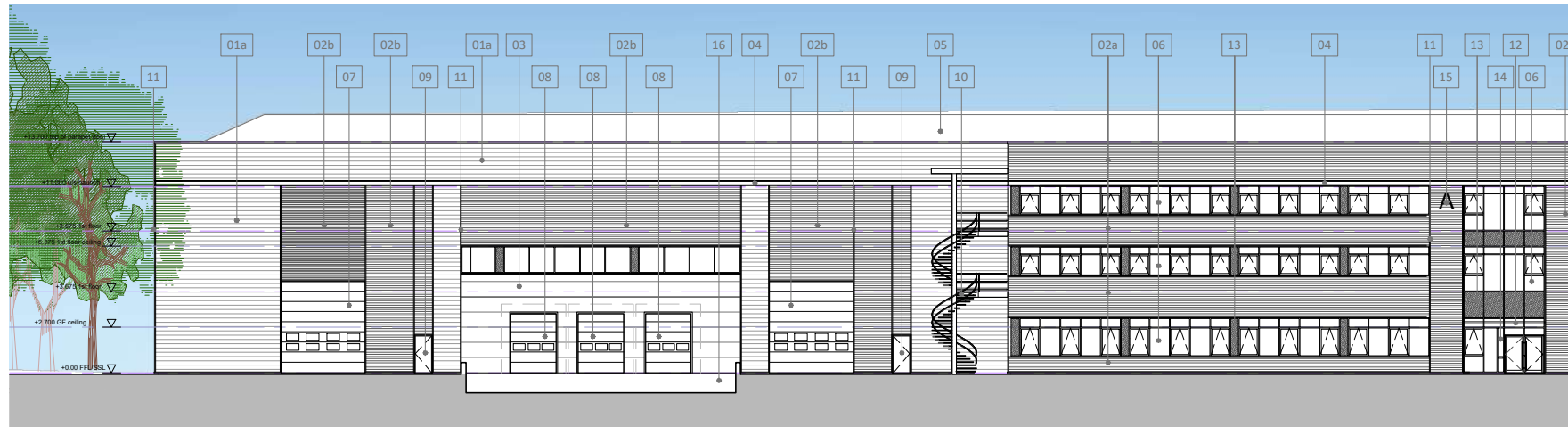
**Cross Oak Lane  
 Redhill RH1 5EX**

**Unit B  
 Elevations**

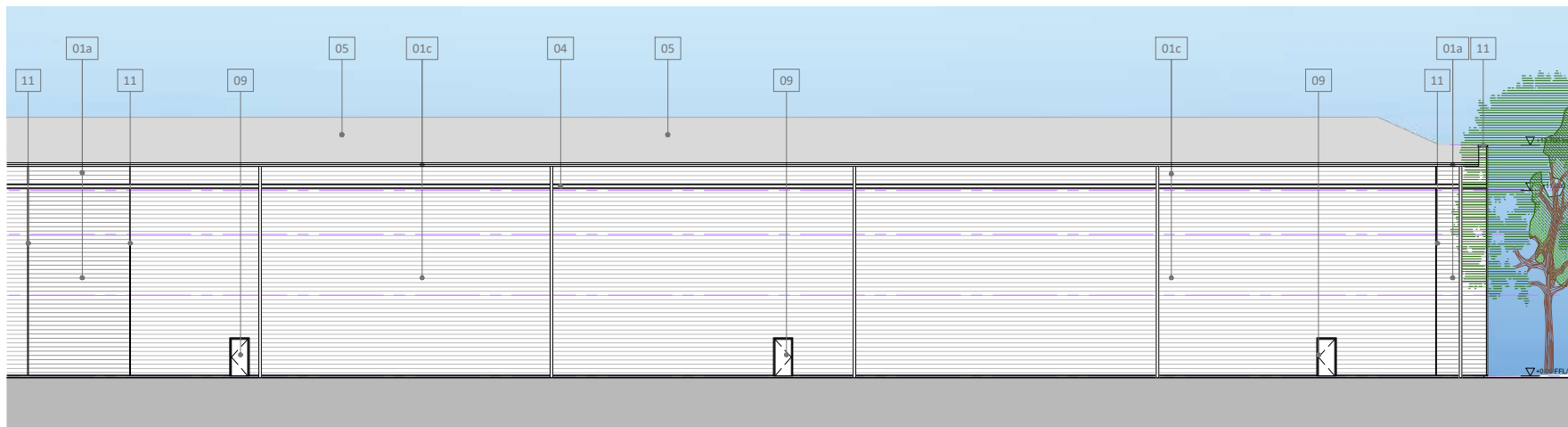
Drawing No.: 2105-PL- 1016      Rev: P2

scale: 1:400 @ A3 / 1:200 @ A1      10 December 2021

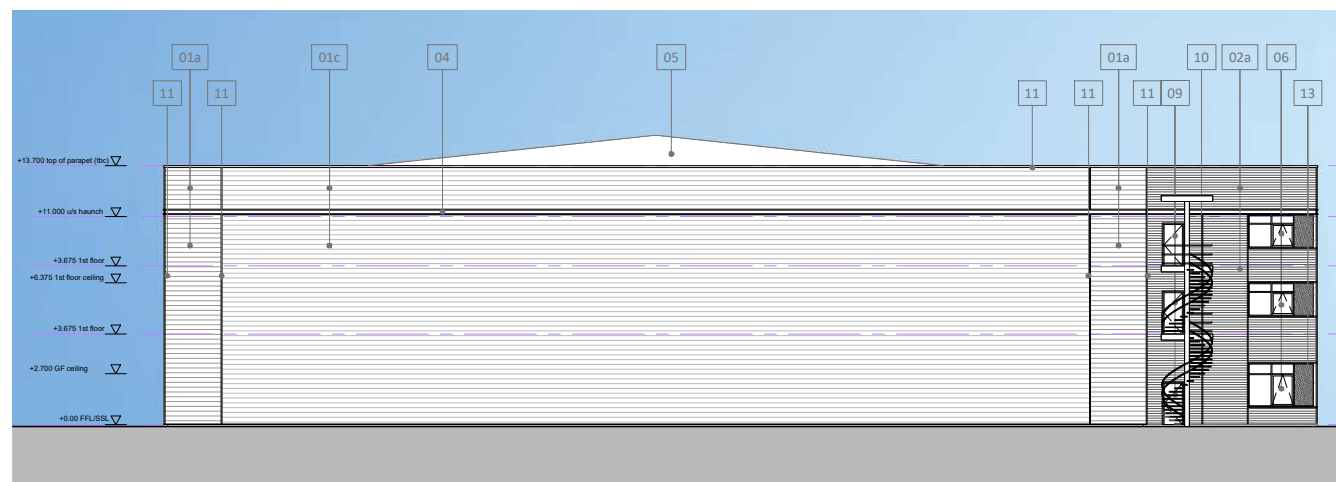
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SOUTH ELEVATION - UNIT A



NORTH ELEVATION - UNIT A

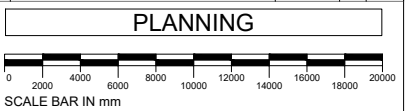


WEST ELEVATION - UNIT A

**MATERIALS KEY:**

- 01a Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Orion (tbc)
- 01b Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Atlantis (tbc)
- 01c Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Aquarius (tbc)
- 01d Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Sirius (tbc)
- 02a Wall cladding: Horizontal sinusoidal profiled built up steel cladding - colour Prisma Zeus (tbc)
- 02b Wall cladding: Horizontal sinusoidal profiled built up steel cladding - colour Prisma Atlantis (tbc)
- 03 Wall cladding: Eurobond Europanel composite cladding - colour Prisma Atlantis (tbc)
- 04 Feature channel flashings: Colour tbc
- 05 Roof cladding: Profiled built up steel cladding - colour Goosewing Grey
- 06 Strip windows & curtain walling: Frame Colour: Anthracite (RAL 7016)
- 07 Level loading doors: Colour tbc
- 08 Dock leveller doors: Colour tbc
- 09 Metal escape & personnel door: Colour to match adjacent cladding
- 10 Galvanized steel spiral escape stair and roof
- 11 Metal flashings: Colour tbc
- 12 Glazed entrance canopy on ppc metal supports
- 13 Look-a-like glazing spandrel panels
- 14 Metal spandrel panel to match glazing with letter box
- 15 Unit & door numbers
- 16 Concrete dock retaining walls

P2	Rear parapet dropped and outboard gutter added	04.04.2022	WR	WRA
P1	Issued for Planning Approval	10.12.2021	WR	WRA
Rev	Notes	dd.mm.yyyy	By	Auth



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**Cross Oak Lane  
 Redhill RH1 5EX**

**Unit A  
 Elevations**

Drawing No.: 2105-PL-1015      Rev: P2

scale: 1:400 @ A3 / 1:200 @ A1      10 December 2021

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1. SITE BOUNDARY ELEVATION - NORTH BOUNDARY (EMPIRE VILLAS)



2. SITE BOUNDARY ELEVATION - WEST BOUNDARY (BONEHURST ROAD)



3. FRONT ELEVATION UNITS A & B

PC	Final concept drawings and outdoor gate advice	01.04.2023	WAR	Y
PI	Issue for Planning Approval	10.12.2023	WAR	Y
Rev	Title	04.04.2024	WAR	A

PLANNING



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Cross Oak Lane  
 Redhill RH1 5EX

Site Boundary & Full Front  
 Elevations

Drawing No.: 2105-PL-0021 Rev: P02

Scale: 1:500 @ A3 | 1:250 @ A1 10 December 2023

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# DENSITY STUDY

AERIAL PHOTOS SHOWING EXISTING SITE DENSITY AGAINST THE APPLICATION SITE



AERIAL PHOTOGRAPH TAKEN OFF GOOGLE MAPS SHOWING IMMEDIATE AREA AS EXISTING



AERIAL PHOTOGRAPH TAKEN OFF GOOGLE MAPS SHOWING IMMEDIATE AREA AS PROPOSED

We have made a direct comparison with the recently developed Goya site to the south as set out in the table below:

	Our Site	Goya Site <i>Taken from approved Site Plan - 10947-PL-002/C</i>
Site Area	16,190 sqm	31,200 sqm
Building Footprint	7,142.9 sqm	13,435 sqm
Site Coverage	44 %	43 %
Total GIA	7,805 sqm	Not stated
Development Density (GIA)	48.2 %	48.8 %
Clear Internal Height	11 m	3 x 10.5 m 2 x 12.5 m
Closest dimension from building to Bonehurst Road	15.37 m	Approx. 15.5 m

As can be seen the coverage, heights and distance to Bonehurst Road as we are proposing are all similar to the recently approved Goya site immediately to the south.

# DENSITY STUDY

AERIAL PHOTOS SHOWING EXISTING SITE DENSITY AGAINST THE APPLICATION SITE



AERIAL PHOTOGRAPH TAKEN OFF GOOGLE MAPS SHOWING SALFORDS INDUSTRIAL ESTATE AS EXISTING

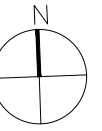


AERIAL PHOTOGRAPH TAKEN OFF GOOGLE MAPS SHOWING SALFORDS INDUSTRIAL ESTATE AS PROPOSED

As can be seen on the aerial photograph on the left, the existing grain of the Salfords Industrial Estate is very dense. There are a range of sizes, site layouts and roof configurations.

We have overlaid the application site plan onto the same aerial photograph on the right. As can be seen the density of the proposal is not any greater than the existing grain of the industrial estate.

As the units have been kept to one side of the site, the front of the site facing onto Cross Oak Lane will feel open and the trees on the prominent corner with Bonehurst Road will be unaffected by the proposals.



**KEY:**

- Planning Application Boundary  
16,351 m<sup>2</sup> / 4.04 acres / 1.635 hectare
- Proposed fence 2.4m high
- ss Proposed substation location
- ref Proposed refuse enclosure
- EV 20% EV charging bays (18no.)
- EV 20% potential future EV charging bays (18no.)

**GROSS INTERNAL AREAS:**

**Unit A - 5,091.5 sqm (54,800 sqft)**

Warehouse 4,515.5 sqm (48,600 sqft)  
 incl office undercroft  
 Offices on 1st floor 288 sqm (3,100 sqft)  
 Offices on 2nd floor 288 sqm (3,100 sqft)

Parking incl disabled 65 spaces  
 Cycle spaces 20 spaces

**Unit B - 2,713.5 sqm (29,200 sqft)**

Warehouse 2,397 sqm (25,800 sqft)  
 incl office undercroft  
 Offices on 1st floor 158.25 sqm (1,700 sqft)  
 Offices on 2nd floor 158.25 sqm (1,700 sqft)

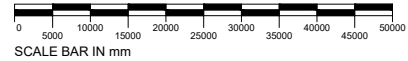
Parking incl disabled 23 spaces  
 Cycle spaces 14 spaces

**TOTAL - 7,805 sqm (84,000 sqft)**

Parking incl disabled 88 spaces  
 Cycle spaces 34 spaces

P3	cycle parking numbers shown on plan	05.05.2022	WR	WRA
P2	14 cycle spaces added, EV charge points shown	04.04.2022	WR	WRA
P1	Issued for Planning Approval	10.12.2021	WR	WRA
Rev	Notes	dd.mm.yyyy	By	Auth

**PLANNING**



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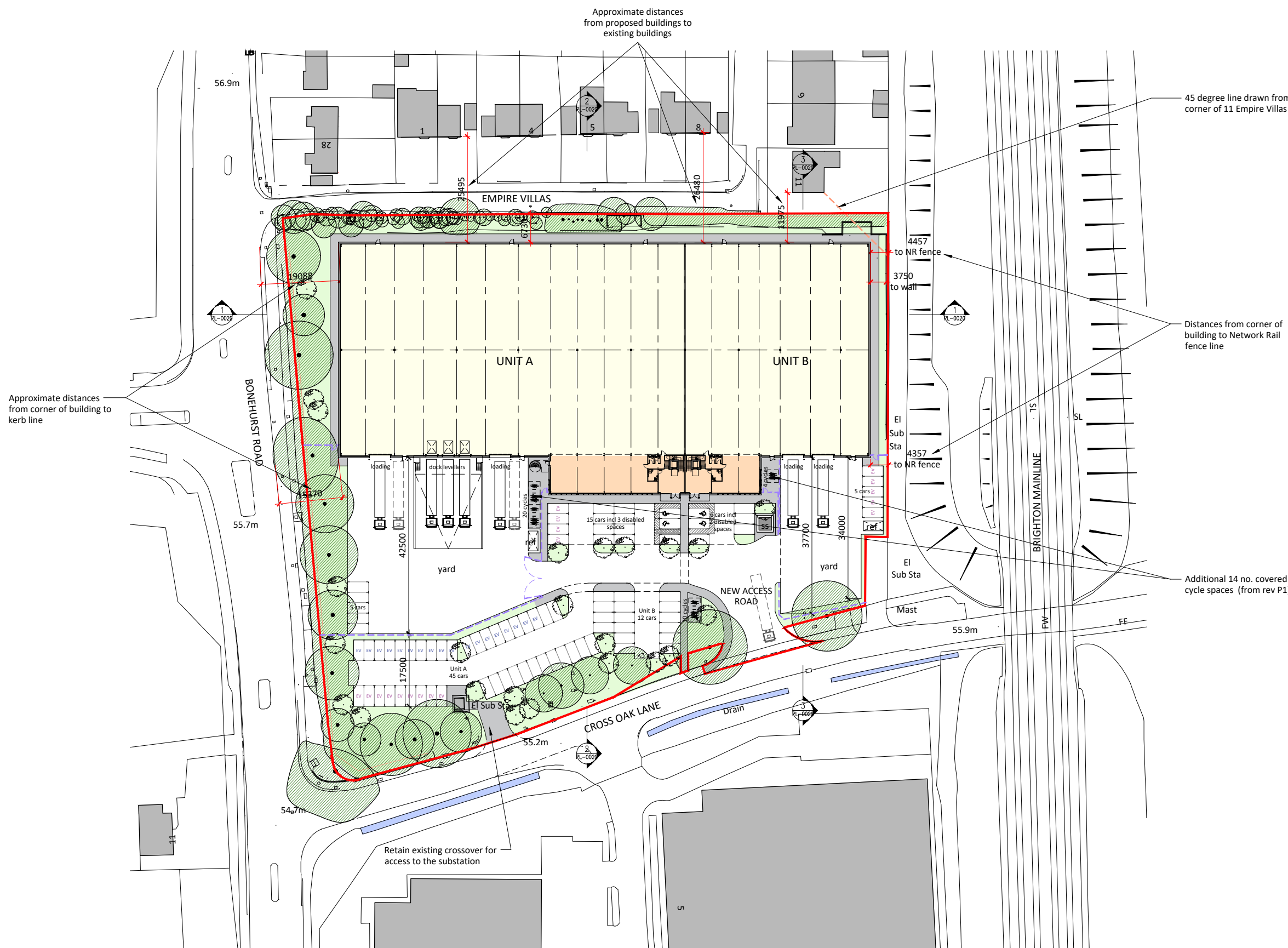
**Cross Oak Lane  
Redhill RH1 5EX**

**Proposed Site Plan**

Drawing No.: 2105-PL-0001 Rev: P3

scale: 1:1000 @ A3 10 December 2021

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Approximate distances from corner of building to kerb line

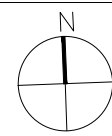
Approximate distances from proposed buildings to existing buildings

45 degree line drawn from corner of 11 Empire Villas

Distances from corner of building to Network Rail fence line

Additional 14 no. covered cycle spaces (from rev P1)

Retain existing crossover for access to the substation



- KEY:**
- Planning Application Boundary  
16,351 m<sup>2</sup> / 4.04 acres / 1.635 hectare
  - Proposed fence 2.4m high
  - ss Proposed substation location
  - ref Proposed refuse enclosure
  - EV 20% EV charging bays (24no.)
  - EV 20% potential future EV charging bays (24no.)
  - Additional parking bays (allow for 20% EV charge bays [6no.] + 20% future EV charge bays [6no.])

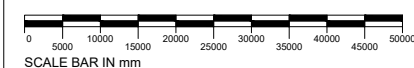
**PARKING & CYCLES**

Unit A -	
Parking incl disabled	89 spaces
Cycle spaces	20 spaces
Unit B -	
Parking incl disabled	30 spaces
Cycle spaces	14 spaces
TOTAL	
Parking incl disabled	119 spaces
Cycle spaces	34 spaces



P3	cycle numbers added, extra EV charge points shown	05.05.2022	WR	WRA
P2	14 cycle spaces added, EV charge points shown	04.04.2022	WR	WRA
P1	Issued for Planning Approval	10.12.2021	WR	WRA
Rev	Notes	dd.mm.yyyy	By	Auth

**PLANNING**



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**Cross Oak Lane  
 Redhill RH1 5EX**

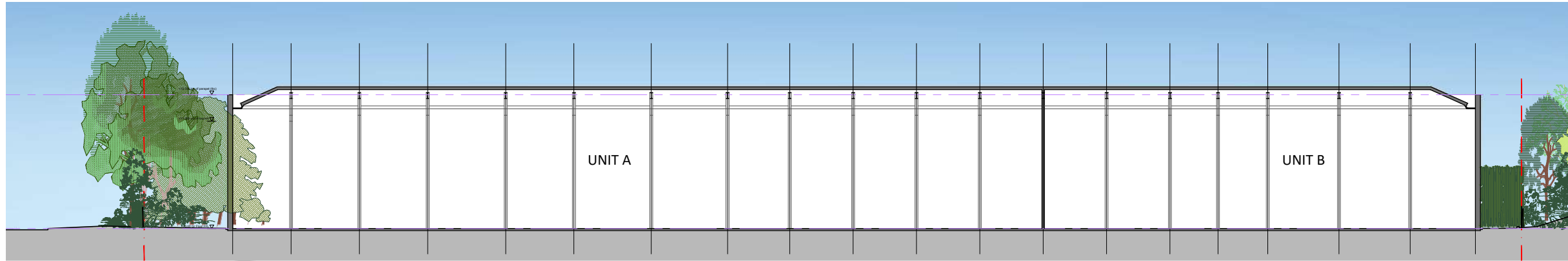
**Proposed Site Plan with Parking  
 Layout for B2 / E (g) (iii) Use**

Drawing No.: 2105-PL-0003 Rev: P3

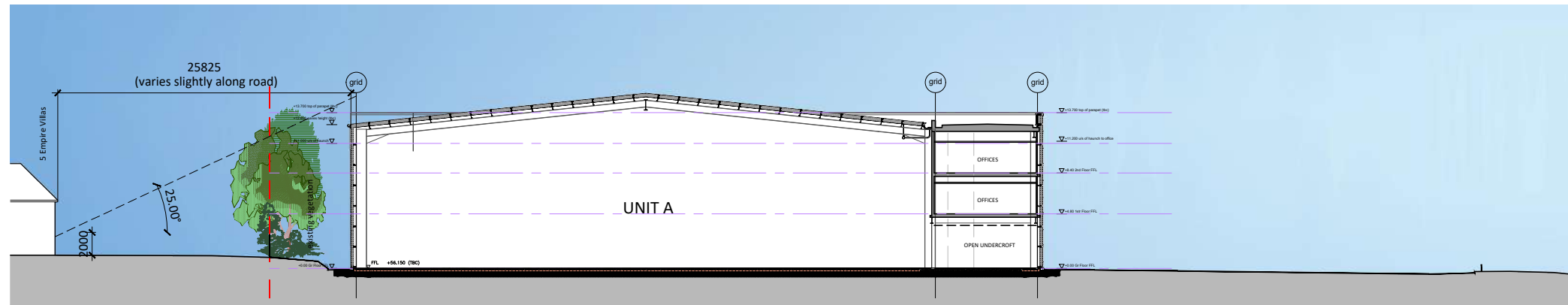
scale: 1:1000 @ A3 10 December 2021

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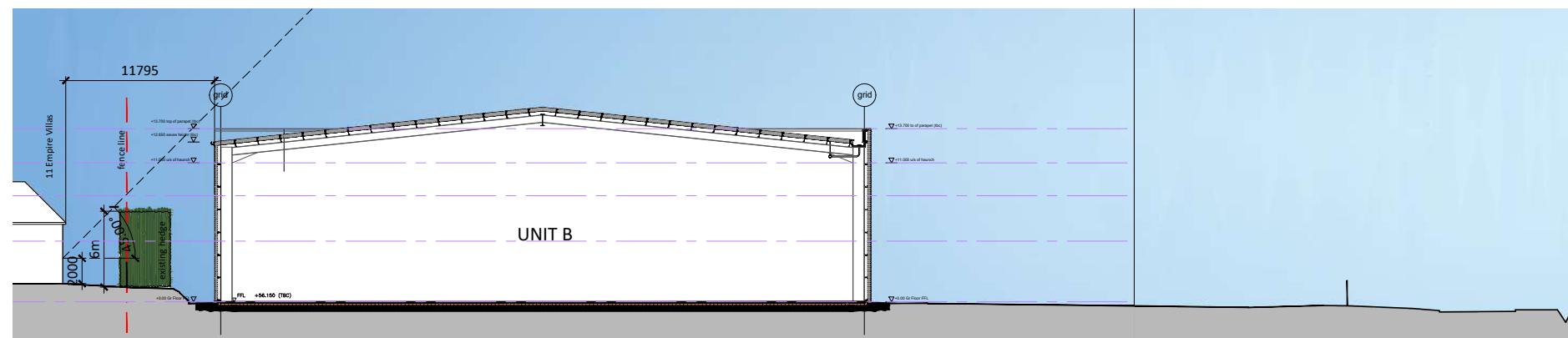




1. LONG SECTION THROUGH UNIT A & UNIT B



2. CROSS SECTION THROUGH UNIT A & 5 EMPIRE VILLAS



3. CROSS SECTION THROUGH UNIT B & 11 EMPIRE VILLAS

P2	Rear parapet dropped and outboard gutter added	04.04.2022	WR	WRA
P1	Issued for Planning Approval	10.12.2021	WR	WRA
Rev	Notes	dd.mm.yyyy	By	Auth

**PLANNING**

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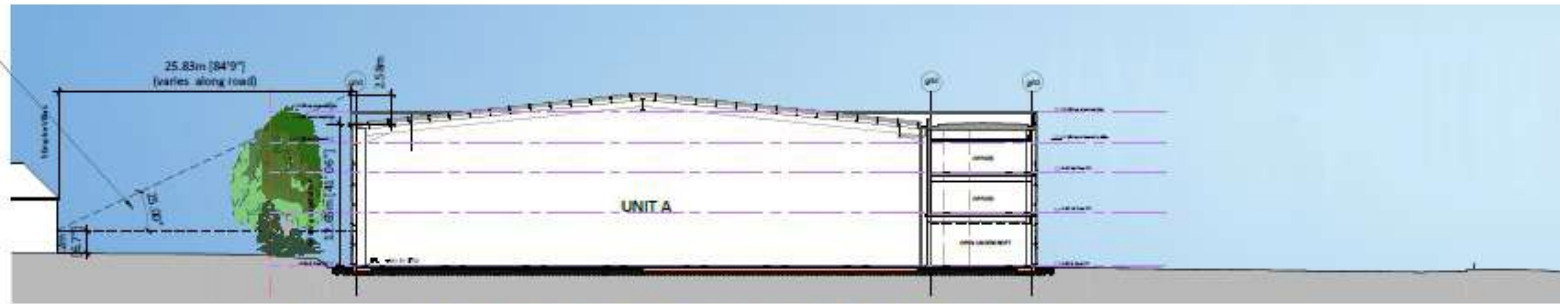
**Cross Oak Lane**  
**Redhill RH1 5EX**

Site Sections

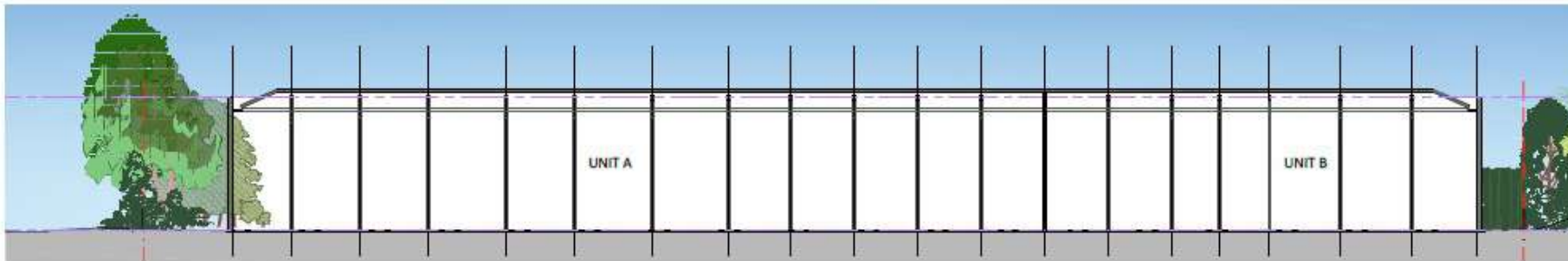
Drawing No.: 2105-PL-0020      Rev: P2  
 scale: 1:500 @ A3 / 1:250 @ A1      10 December 2021

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Sight line as set out in Reigate and Banstead pre-application letter - 25 degrees at 2 metres above ground level where there are windows



1. CROSS SECTION THROUGH UNIT A & 5 EMPIRE VILLAS

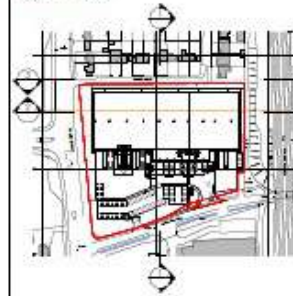


2. LONG SECTION THROUGH UNIT A & UNIT B



3. SITE BOUNDARY ELEVATION - NORTH BOUNDARY (EMPIRE VILLAS)

KEY PLAN:



Rev: 1/2024

PRELIMINARY

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Cross Oak Lane  
Redhill RH1 5EX

Site Sections & Boundary Elev.  
to Empire Villas (no parapet)

Drawing No.: 2105-SK-0023 Rev:

scale: 1:500 @ A3 / 1:250 @ A1 07 March 2024

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